

This instrument was recorded by
PETER M. HODKIN
4901 N.W. 17th
Fort Lauderdale, Florida

87226257

SIXTH AMENDMENT TO DECLARATION OF CONDOMINIUM OF
MIDDLE RIVER HOMES, A CONDOMINIUM

WHEREAS, the Declaration of Condominium (hereinafter "Declaration") and related exhibits of MIDDLE RIVER HOMES, A CONDOMINIUM were filed for record in the Public Records of Broward County, Florida in Official Records Book 13327, at Page 1, and subsequent pages, on the 15th day of April, 1986; and

WHEREAS, Developer executed the First and Second Amendments to the Declaration which were filed on May 27, 1986 and June 25, 1986, respectively, in Official Records Book 13425, at Page 778 and Official Records Book 13593, at Page 98, respectively, of the Public Records of Broward County, Florida; and

WHEREAS, Developer executed the Third Amendment to the Declaration which was filed on November 6, 1986 in Official Records Book 13882, at Page 251 of the Public Records of Broward County, Florida, which Third Amendment added the Phase II Lands and Improvements to the Condominium; and

WHEREAS, Developer executed the Fourth and Fifth Amendments to the Declaration which were filed on November 19, 1986 and February 12, 1987, respectively, in Official Records Book 13917, at Page 897 and Official Records Book 14166, at Page 373, respectively, of the Public Records of Broward County, Florida; and

WHEREAS, at the time of filing of the Third, Fourth and Fifth Amendments, Surveyor's Certifications in accordance with Section 718.104(e), Florida Statutes, were recorded in connection with Exhibit "I" to said Third Amendment in Official Records Book 13882, at Page 262 of the Public Records of Broward County, Florida; Substitute Exhibit "I" attached to the Fourth Amendment in Official Records Book 13917, at Page 906 of the Public Records of Broward County, Florida; and Substitute Exhibit "I" attached to the Fifth Amendment in Official Records Book 14166, at Page 382 of the Public Records of Broward County, Florida, indicating that certain of the buildings containing Units and related improvements in Phase II were substantially completed and that other Units were proposed; and

WHEREAS, at the present time, the construction of all building(s) and Units in MIDDLE RIVER HOMES, A CONDOMINIUM, Phase II have been substantially completed, all as more particularly depicted in the exhibit attached hereto (the "Substitute As Built Survey for Phase II"); and

Record and Return to
PETER M. HODKIN, ESQ.
HODKIN & LIVING, P.A.
4901 N.W. 17th Way, Ste. 504
Fort Lauderdale, FL 33309

HODKIN & LIVING, P.A. • SPECTRUM BUILDING • SUITE 504 • 4901 N.W. 17TH WAY • FORT LAUDERDALE, FLORIDA 33309 • (305) 493-8100

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WHEREAS, in accordance with its rights pursuant to Section 718.104(4)(e), Florida Statutes, and Section 718.110(2), Florida Statutes, TD ASSOCIATES, a Florida general partnership and record fee simple titleholder to the real property of the Condominium (the "Developer") desires to modify Exhibit "I" to the Third Amendment by substituting the Substitute As Built Survey for Phase II attached hereto pursuant to and in accordance with the Condominium Act of the State of Florida.

NOW THEREFORE, pursuant to the Condominium Act of the State of Florida, TD ASSOCIATES, does hereby modify Exhibit "I" to the Declaration by substituting the attached Substitute As Built Survey for Phase II, the same being a survey, plot plan and graphic description of all of the as built improvements, prepared by a surveyor authorized to practice in the State of Florida, with the appropriate Certificate of Surveyor attached thereto.

IN WITNESS WHEREOF, TD ASSOCIATES, a Florida general partnership, has caused these presents to be signed by its general partners this 10th day of May, 1987.

TD ASSOCIATES, a Florida
general partnership

Signed, sealed and delivered
in the presence of:

BY: M R Homes, Inc., a Florida
corporation; general
partner

H. H. Hall
James M. Smith

By: Charles E. Tyler
CHARLES E. TYLER, President

(SEAL)

AND

By: Pine Valley of Palm Beach,
Inc., a Florida
corporation; general
partner

H. H. Hall
James M. Smith

By: Abe Dick
ABE DICK, President

(SEAL)

STATE OF FLORIDA)
)SS:
COUNTY OF BROWARD)

I HEREBY CERTIFY that on this day personally appeared before me CHARLES E. TYLER, President of M R HOMES, INC., a Florida corporation and general partner of TD ASSOCIATES, a Florida

general partnership, to me known to be the person who signed the foregoing Amendment to Declaration, on behalf of such corporation, acting on behalf of such partnership and he acknowledged the execution thereof to be his free act and deed as such officer for the uses and purposes therein mentioned, that he affixed thereto the official seal of said corporation, and that the said instrument is the act and deed of said corporation and said partnership.

WITNESS my hand and official seal at the state and county last above written, this 10 day of May, 1987.

[Signature]
Notary Public
State of Florida at Large

My commission expires: Notary Public, State of Florida
My Commission Expires Nov. 20, 1988

STATE OF FLORIDA)
)SS:
COUNTY OF BROWARD)

I HEREBY CERTIFY that on this day personally appeared before me ABE DICK, President of PINE VALLEY OF PALM BEACH, INC., a Florida corporation and general partner of TD ASSOCIATES, a Florida general partnership, to me known to be the person who signed the foregoing Amendment to Declaration, on behalf of such corporation, acting on behalf of such partnership and he acknowledged the execution thereof to be his free act and deed as such officer for the uses and purposes therein mentioned, that he affixed thereto the official seal of said corporation, and that the said instrument is the act and deed of said corporation and said partnership.

WITNESS my hand and official seal at the state and county last above written, this 10 day of May, 1987.

[Signature]
Notary Public, State of
Florida at Large

My commission expires:

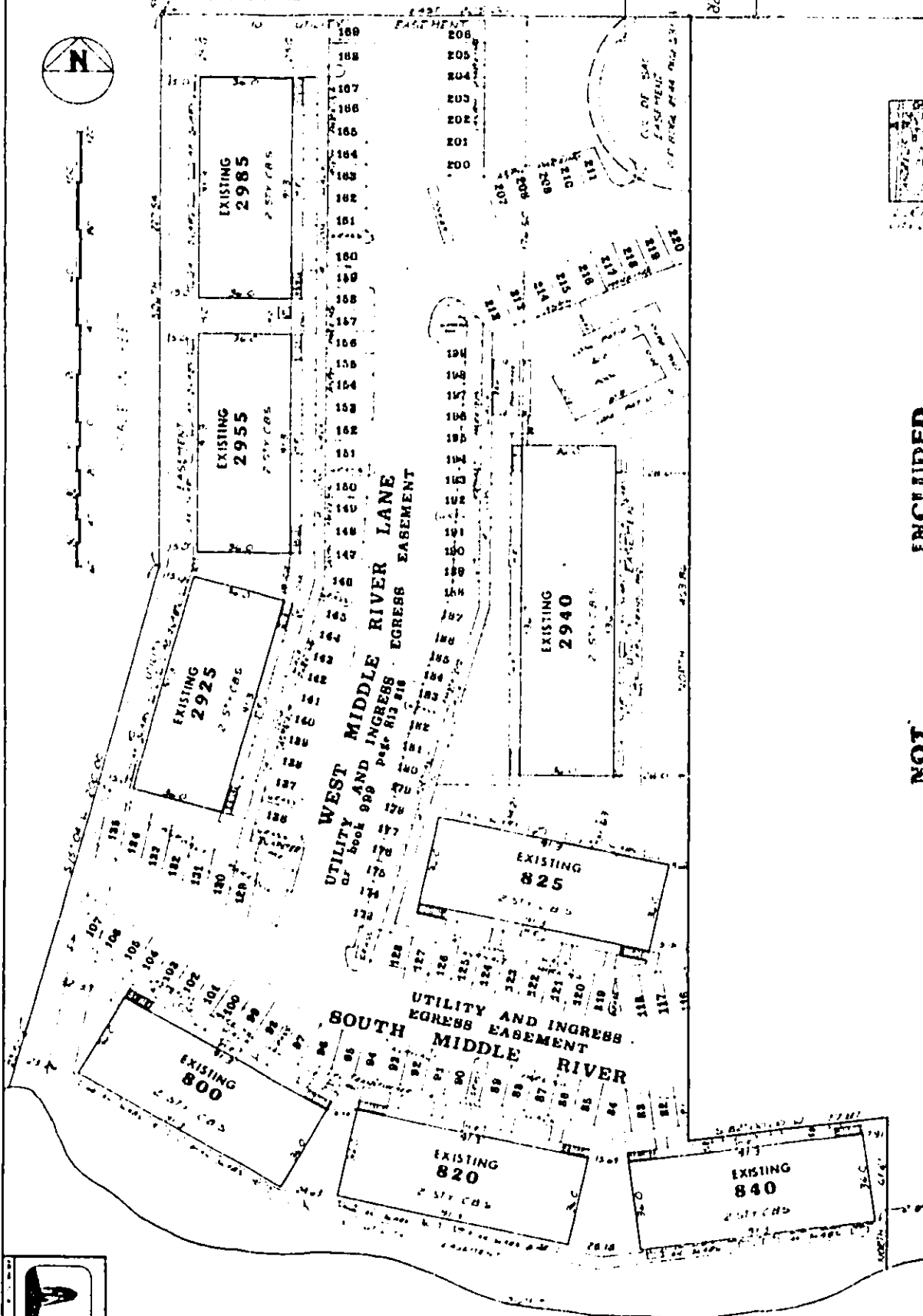
Notary Public, State of Florida
My Commission Expires Nov. 20, 1988

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MIDDLE RIVER HOMES.

EXHIBIT "I" SHEET OF SHEETS A CONDOMINIUM



INCLUDED

NOT

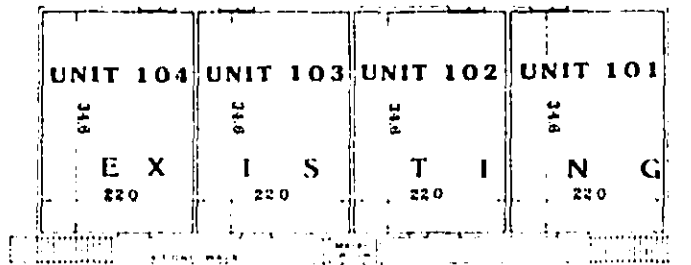
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NORTH FORK OF MIDDLE RIVER

**'PLOT PLAN, SURVEY, & GRAPHIC DESCRIPTION
FOR REAL PROPERTY BEING SUBMITTED
FOR CONDOMINIUM OWNERSHIP**

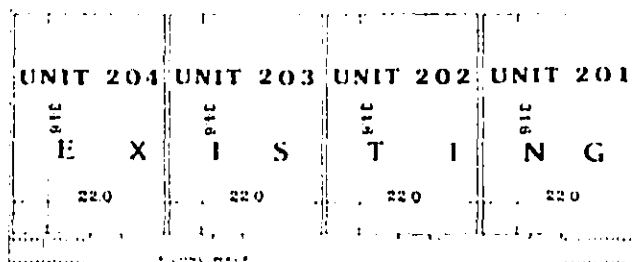


DAVIS ASSOCIATES, INC.
SURVEYORS & ENGINEERS
1000 N. 10TH ST. SUITE 100
DENVER, CO 80202



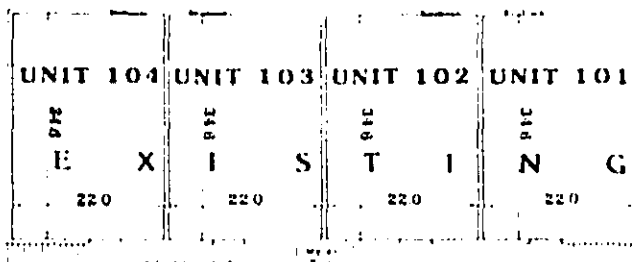
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BUILDING NO. 820**

FINISH FLOOR ELEVATION 7.11 FEET
FINISH CEILING ELEVATION 16.15 FEET



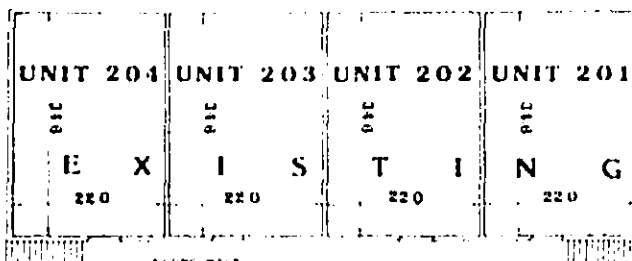
**FLOOR PLAN SECOND FLOOR
BUILDING NO. 820**

FINISH FLOOR ELEVATION 16.73 FEET
FINISH CEILING ELEVATION 25.84 FEET



**FLOOR PLAN FIRST FLOOR
BUILDING NO. 840**

FINISH FLOOR ELEVATION 7.11 FEET
FINISH CEILING ELEVATION 16.15 FEET



**FLOOR PLAN SECOND FLOOR
BUILDING NO. 840**

FINISH FLOOR ELEVATION 16.73 FEET
FINISH CEILING ELEVATION 25.84 FEET



SCALE IN FEET
0 10 20 30

DEF 14472 PAGE 270

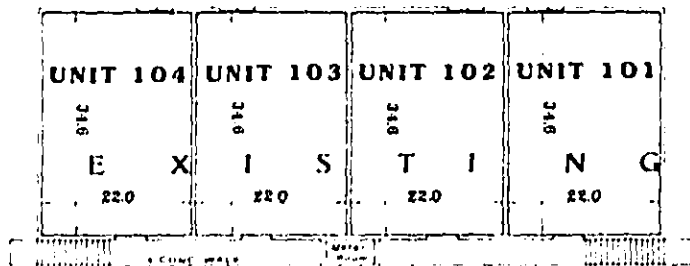


EXHIBIT SHEET OF SHEETS

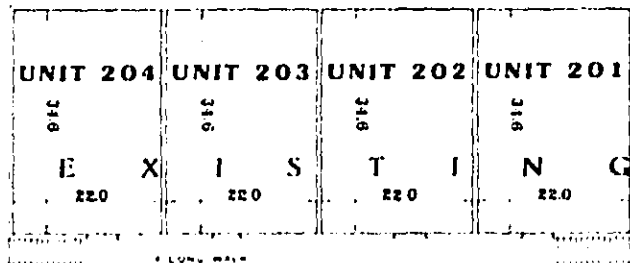
MIDDLE RIVER HOMES,
A CONDOMINIUM

DAVIS ASSOCIATES, INC.

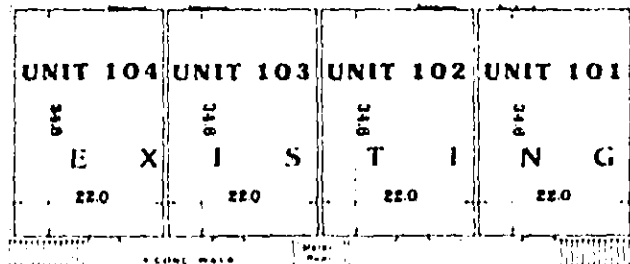
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[Signature]
[Stamp]



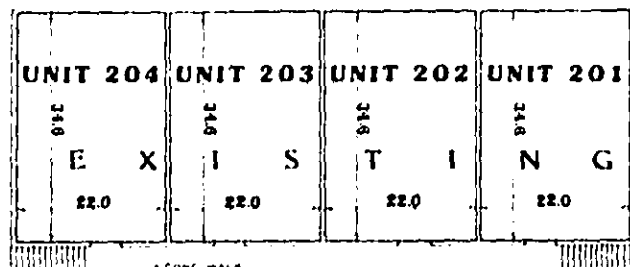
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BUILDING NO. 825**
FINISH FLOOR ELEVATION 7.11 FEET
FINISH CEILING ELEVATION 16.15 FEET



**FLOOR PLAN SECOND FLOOR
BUILDING NO. 825**
FINISH FLOOR ELEVATION 16.73 FEET
FINISH CEILING ELEVATION 25.84 FEET



**FLOOR PLAN FIRST FLOOR
BUILDING NO. 800**
FINISH FLOOR ELEVATION 7.11 FEET
FINISH CEILING ELEVATION 16.15 FEET



**FLOOR PLAN SECOND FLOOR
BUILDING NO. 800**
FINISH FLOOR ELEVATION 16.73 FEET
FINISH CEILING ELEVATION 25.84 FEET



SCALE IN FEET
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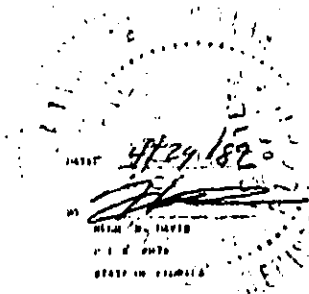
EXHIBIT SHEET OF SHEETS

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

MIDDLE RIVER HOMES,
A CONDOMINIUM



DAVIS ASSOCIATES, INC.



UNIT 106 UNIT 105 UNIT 104 UNIT 103 UNIT 102 UNIT 101

E X I S T I N G

FLOOR PLAN FIRST FLOOR
BUILDING NO. 2940

FINISH FLOOR ELEVATION 7.11 FEET
FINISH CEILING ELEVATION 16.15 FEET

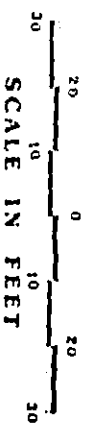
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UNIT 206 UNIT 205 UNIT 204 UNIT 203 UNIT 202 UNIT 201

E X I S T I N G

FLOOR PLAN SECOND FLOOR
BUILDING NO. 2940

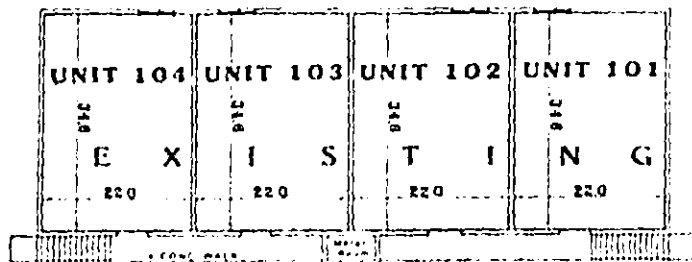
FINISH FLOOR ELEVATION 16.73 FEET
FINISH CEILING ELEVATION 25.84 FEET



MIDDLE RIVER HOMES,
A CONDOMINIUM

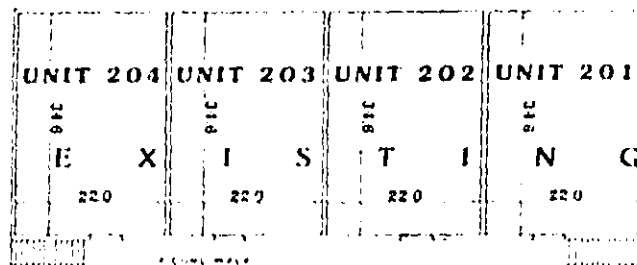
DAVIS ASSOCIATES, INC.

NOTED: NO WORK SHOWN TO BE DONE
OTHER THAN
AS SHOWN ON THIS PLAN
AND EXHIBIT
1. NO WORK TO BE DONE



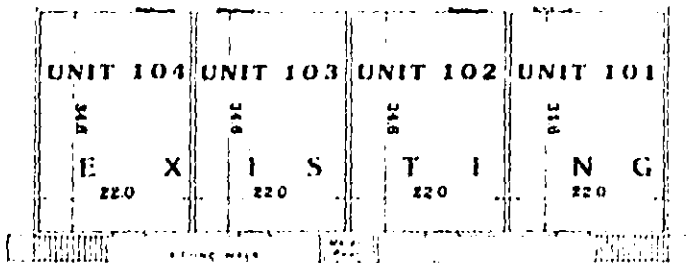
**FLOOR PLAN FIRST FLOOR
BUILDING NO. 2955**

FINISH FLOOR ELEVATION 7.11 FEET
FINISH CEILING ELEVATION 16.15 FEET



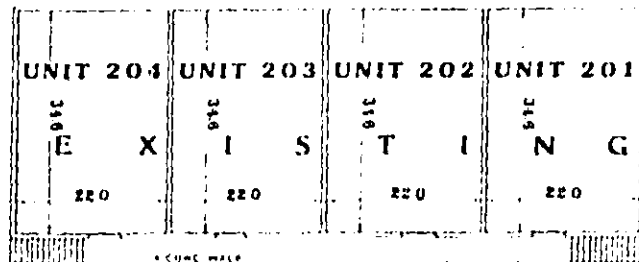
**FLOOR PLAN SECOND FLOOR
BUILDING NO. 2955**

FINISH FLOOR ELEVATION 16.73 FEET
FINISH CEILING ELEVATION 25.84 FEET



**FLOOR PLAN FIRST FLOOR
BUILDING NO. 2925**

FINISH FLOOR ELEVATION 7.11 FEET
FINISH CEILING ELEVATION 16.15 FEET



**FLOOR PLAN SECOND FLOOR
BUILDING NO. 2925**

FINISH FLOOR ELEVATION 16.73 FEET
FINISH CEILING ELEVATION 25.84 FEET




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SCALE IN FEET

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EXHIBIT SHEET OF SHEETS

1. ALL DIMENSIONS SHOWN ARE TO THE CENTER OF THE UNIT.
2. ALL DIMENSIONS SHOWN ARE TO THE CENTER OF THE UNIT.
3. ALL DIMENSIONS SHOWN ARE TO THE CENTER OF THE UNIT.

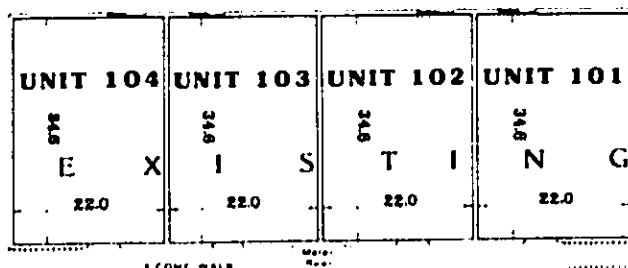
MIDDLE RIVER HOMES,
A CONDOMINIUM

 DAVIS ASSOCIATES, INC.
14000 N. W. 11th Avenue, Suite 100, Fort Lauderdale, FL 33304
(305) 467-1111

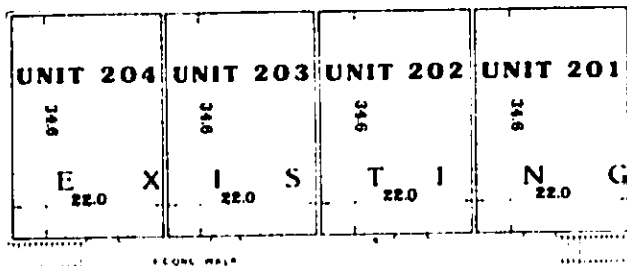




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SCALE IN FEET



FLOOR PLAN FIRST FLOOR
BUILDING NO. 2985
FINISH FLOOR ELEVATION 7.11 FEET
FINISH CEILING ELEVATION 16.15 FEET



FLOOR PLAN SECOND FLOOR
BUILDING NO. 2985
FINISH FLOOR ELEVATION 16.73 FEET
FINISH CEILING ELEVATION 25.84 FEET

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EXHIBIT SHEET OF SHEETS



DAVIS ASSOCIATES, INC.

NOTES

1. ALL ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM
2. UNIT BOUNDARY DIMENSIONS SHOWN ARE IN FEET AND DECIMALS AND ARE APPROXIMATE
3. ALL WALLS ARE 8.00 FEET WIDE

**MIDDLE RIVER HOMES,
A CONDOMINIUM**


DATED 4/24/81
BY [Signature]
P. L. B. PWS
STATE OF FLORIDA

EXHIBIT "I"

CERTIFICATE OF SURVEYOR

The undersigned, being a surveyor authorized to practice in the State of Florida, pursuant to Section 718.104(4) (e), Florida Statutes, hereby certifies that the construction of the improvements comprising MIDDLE RIVER HOMES, A CONDOMINIUM is substantially complete so that Exhibit "I" to the Declaration of Condominium, together with the provisions of the Declaration of Condominium describing the condominium property, is in accurate representation of the location and dimensions of the improvements so that the identification, location and dimensions of the common elements and of each unit can be determined from these materials.

DAVIS ASSOCIATES, INC.


BY: Hugh R. Davis, P.L.S.
Florida Registration No. 978OFF
REC 14472 PAGE 275**DAVIS ASSOCIATES, INC.**

Consulting Civil and Environmental Engineers • Land Surveyors • Land Development Consultants • Planners

1634 E. ATLANTIC BOULEVARD • POMPANO BEACH, FLA. 33060

phone: (305) 782-9447

JOB NO.

DATE:

DRAWN BY:

F.B./PG.

EXHIBIT "I"

LEGAL DESCRIPTION FOR REAL PROPERTY BEING SUBMITTED FOR CONDOMINIUM OWNERSHIP:

Commencing at the N.W. Corner of Parcel "A", "A.D.K. Plat", as recorded in Plat Book 77, Page 35, of the Public Records of Broward County, Florida; thence South along the West line of said Parcel "A", 490.17 feet to the Point of Beginning; thence continue South along the West line of said Parcel "A", 227.54 feet; thence S 15° 04' 00" W, 223.00 feet, more or less, to a point on the North Bank of the North Fork of Middle River; thence Easterly along the North Bank of the North Fork of Middle River, 369.00 feet, more or less, to a line 115.00 feet West of the East line of said Parcel "A"; thence North along a line 115.00 feet West of and parallel to the East line of said Parcel "A", 61.61 feet, more or less, to a point; thence S 82° 00' 00" W, 77.78 feet; thence North 163.86 feet; thence West along a line 490.17 feet, South of and parallel to the North line of said Parcel "A", 205.00 feet to the Point of Beginning. Said lands situate, lying and being in Broward County, Florida.

L. A. HESTER
BY SOWTECH

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Consulting Civil and Environmental Engineers • Land Surveyors • Land Development Consultants • Planners

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